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# PUD DEVELOPMENT GUIDE

RIVER EDGE COLORADO  
GARFIELD COUNTY, COLORADO

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PUD Development Guide  
River Edge Colorado, Garfield County, Colorado

# PUD DEVELOPMENT GUIDE

## RIVER EDGE COLORADO GARFIELD COUNTY, COLORADO

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**I. PURPOSE AND INTENT**

**A. PURPOSE**

The purpose of this River Edge Colorado Planned Unit Development Guide ("PUD Guide") is to establish development standards, supplemental regulations, and guidelines for the development of land within the River Edge Colorado Planned Unit Development (the "REC PUD", "PUD" or "Project"). This PUD Guide was approved by the Board of County Commissioners ("BoCC"), Garfield County, Colorado on December 5, 2011 pursuant to Resolution No. 2011-\_\_\_ ("Resolution of Approval").

The provisions of this PUD Guide constitute the zone district regulations for the REC PUD and define the permitted use of land and limitations or restrictions on the use of real property. All development within the PUD shall be administered by Garfield County, River Edge Colorado Property Owners' Association, Inc. ("POA") and any other appropriate authorities having jurisdiction in accordance with this PUD Guide.

This PUD Guide is supported by the River Edge Colorado PUD Plan (the "PUD Plan") which is recorded in the official records of Garfield County. The PUD Plan illustrates the general distribution of land uses, unit types and counts, and development framework within the PUD.

**B. INTENT**

This PUD Guide and the PUD Plan intend to ensure that the REC PUD is developed as a comprehensive planned community that will encompass such beneficial features as providing a balance of residential, community and recreational uses; preserving significant and important open space; enhancing safety; providing necessary infrastructure; creating aesthetically pleasing man-made and natural features; and promoting high standards of development quality through stringent planning and development controls. The REC PUD is intended to establish a comfortable "clustered" form of residential environment reflected in the proposed planning standards and development styles, and to produce an environment which manages automobiles and maintains a scale and set of linkages that promote pedestrian travel and human interaction in community spaces within the PUD. The mixture of housing types is designed to meet the range of housing needs of current and future Garfield County residents. The REC PUD authorizes a maximum of 366 dwelling units and up to 30,000 square feet of community buildings including utility and maintenance facilities.

**C. RELATED CONTROLS**

It is acknowledged that the REC PUD is also governed by the Declaration of Covenants, Conditions and Restrictions for River Edge Colorado (the "CCRS") recorded in the official records of Garfield County in association with the first Final Plat, as they may be amended from time to time by the POA; and the River Edge Colorado Design Guidelines (the "Design Guidelines") administered by the Architectural Control Board of the POA (the "ACB"). The REC PUD is further governed by the REC PUD Development Agreement approved by the BoCC on December 5, 2011 and the Resolution of Approval and all other associated documents made a part of said Resolution of Approval. The CCRS,

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Design Guidelines, Development Agreement, Resolution of Approval and all other documents made a part of said Resolution of Approval, and all subsequently filed Final Plats are collectively referred to herein as the "Project Documents".

#### **D. NOTICE TO BUYERS**

Buyers of lots or parcels within the boundaries of the REC PUD should be aware that requirements more restrictive than those contained in this PUD Guide may be imposed as a result of other Project Documents such as the CCRS or Final Plats that are recorded separately, concurrently or subsequently to this PUD Guide. The most current Project Documents should be consulted prior to formalizing development plans for construction within the PUD or instituting a use on any lot or tract.

### **II. ADMINISTRATION**

#### **A. INTERPRETATION**

The provisions of this PUD Guide and associated PUD Plan relating to the use of land and development of property within the REC PUD shall be interpreted by the Director.

#### **B. RELATIONSHIPS TO OTHER REGULATIONS**

##### **1. LAND USE AND OTHER COUNTY REGULATIONS**

The PUD Guide is intended to address all land use and development standards of specific interest to Garfield County and to meet the intent of the regulatory standards contained in the ULUR which promote the Garfield Comprehensive Plan 2030 and the health, safety and general welfare of the public. This PUD Guide, PUD Plan and the Project Documents are intended to serve as the comprehensive regulatory framework for the REC PUD. The ULUR shall be applicable to any conditions not provided for by the PUD Guide, PUD Plan or the Project Documents as if the property were zoned Residential Suburban (RS). Where a provision of the ULUR conflicts or the application of the ULUR would result in a creating a conflict with any provision of the PUD Guide, PUD Plan or the Project Documents, the later documents shall control. All other applicable County regulations such as building codes and environmental health regulations shall apply to activities within the REC PUD.

The PUD Guide references the CCRS and Design Guidelines for the REC PUD in several places to provide clarity that a subject or regulatory standard has been addressed as part of the REC PUD. Where the CCRS and Design Guidelines for the REC PUD have been identified as controlling by this PUD Guide, the provisions of the ULUR shall not apply where said provisions would conflict with the CCRS or Design Guidelines.

##### **2. BUILDING PERMITS**

Building permits shall be obtained from Garfield County in accordance with County requirements for the construction of any buildings or structures within the REC PUD or any other actions subject to the Building Code requirements.

Building plans for all buildings and structures constructed within the REC PUD shall conform to this PUD Guide, PUD Plan or the Project Documents.

No building permit shall be issued within any area of the REC PUD for which a Final Plat has not been approved by the BoCC and recorded in the Office of the Garfield County Clerk and Recorder unless the proposed use requiring such building permit is otherwise specifically permitted for by this PUD Guide on unplatted land including pre-development site grading, reclamation, landscaping, utilities, and temporary construction uses.

### **C. REVIEW AND APPROVAL OF FILINGS/AMENDMENTS**

#### **1. REVIEW AND APPROVAL OF SUBDIVISION FILINGS (FINAL PLATS)**

The PUD Plan identifies the boundaries of eleven filings in the REC PUD which filings were approved concurrent with the approval of this PUD Guide and the associated PUD Plan. Each phase of the REC PUD is required to submit specific subdivision plans (i.e., Final Plat Application) to Garfield County for review and approval as provided for by the ULUR. Final Plats shall conform to the PUD Guide, PUD Plan or the Project Documents

Appendix C Phasing Plan summarizes the order and timing of the development activities within the REC PUD including the pre-development activities (Phase 0), each Final Plat and the required Prerequisite Improvements (i.e., those improvements required to be installed prior to Final Plat or secured and completed as part of each identified Filing), Offsite Improvements (i.e., those improvements located outside the Filing required to be secured and completed as part of each identified Filing), and Onsite Improvements (i.e., those improvements located within the Filing required to be secured and completed as part of each identified Filing). The Schedule of Platting identified in Table 5 of the Phasing Plan represents an estimate of years that the Final Plat for each Filing will be filed with the County and shall not be binding. Vesting including the timing of certain actions is controlled by the REC PUD Development Agreement.

Certain improvements identified on the Phasing Plan will be completed in coordination with the agencies or entities which will accept ownership and maintenance of said improvements ("Third Party Improvements"). Third Party Improvements may be completed in advance of the Phasing identified in the Phasing Plan at the discretion of the agency or entity who will take ownership of said Third Party Improvements. The exclusion of Third Party Improvements from the requirements to conform to the Phasing Plan shall not exempt the agency or entity from obtaining all necessary permits and approvals including any required County permits and approvals.

#### **2. AMENDMENTS TO THE APPROVED PUD**

It is anticipated that modifications or amendments to this PUD Guide, PUD Plan, and Project Documents may be necessary from time to time as development of

the PUD progresses. Amendments to the PUD Guide, PUD Plan or the Project Documents shall be processed in accordance with the ULUR.

#### **D. ENFORCEMENT**

Garfield County shall have responsibility for interpreting and enforcing this PUD Guide. Nothing in this PUD Guide, however, shall be interpreted to require the BoCC to bring an action for enforcement or to withhold permits, nor shall this paragraph or any other provision of this PUD Guide be interpreted to permit the purchaser of a lot to file an action against the BoCC.

Although the CCRS and Design Guidelines for the REC PUD are mentioned in several places in this PUD Guide, Garfield County has no responsibility to enforce the provisions of the CCRS or Design Guidelines.

#### **E. SEVERABILITY**

If any provision of this PUD Guide, PUD Plan and Project Documents, or its application to any person, entity or circumstance, is specifically held to be invalid or unenforceable by a Court of competent jurisdiction, the remainder of this PUD Guide, PUD Plan and Project Documents and the application of the provisions thereof to other persons, entities or circumstances shall not be affected thereby and, to that end, this PUD Guide, PUD Plan and Project Documents shall continue to be enforced to the greatest extent possible consistent with law and the public interest. Upon such a finding, this PUD Guide and associated documents shall be modified as necessary to maintain the original intent of the REC PUD.

### **III. ZONING DESIGNATIONS**

All lots and tracts have been identified within a certain Zoning Category and Zoning District on the PUD Plan. The lot and tract zoning designation tables [Table 2A and 2B of the PUD Plan (Page 2 of 8) and Table 1 and 2 (Appendix A)] identify the Zoning Category and Zoning District designations of all lots and tracts within the REC PUD. The use and development of all lots and tracts shall be controlled by their designation.

It is recognized that the lot and tract boundary lines depicted on the PUD Plan are approximate and based on preliminary engineering and are not field surveyed. As a result, lot and tract boundary lines may be changed from those depicted on the PUD Plan at the time of Final Plat.

#### **A. ZONING CATEGORIES AND ZONING DESIGNATIONS**

The lots and tracts within the REC PUD are designated into one of four Zoning Categories and one of several Zoning District designations within each Zoning Category. Zoning Categories represent broad use types and include Residential, Community Space, Right-of-Way, and Utility Use Categories. Zoning District designations represent more limited or restricted zoning classifications given to each lot or tract within the PUD. The Zoning District designation of each lot or tract provides more specific regulatory requirements under this PUD Guide.

The following Zoning Categories and Zoning Districts are established by this PUD Guide.

**1. RESIDENTIAL USE ZONING CATEGORY**

The Residential Use Zoning Category includes all Zoning District designation that provide for various forms of residential use within the REC PUD. The Residential Zoning Districts established by this PUD Guide include:

- Attached Home (Lots) Residential Zoning District
- Estate (Lots) Residential Zoning District
- Executive (Lots) Residential Zoning District
- Garden Home (Lots) Residential Zoning District
- Town (Lots) Residential Zoning District
- Village (Lots) Residential Zoning District

**2. COMMUNITY SPACE ZONING CATEGORY**

The Community Spaces Zoning Category includes all Zoning District designations that provided for community activities and community outdoor spaces and amenities within the REC PUD. The Community Space Zoning Districts established by this PUD Guide include:

- Common Area (Tracts) Zoning District
- Garden/Orchard (Tracts) Zoning District
- Neighborhood Center (Tracts) Zoning District
- Open Space (Tracts) Zoning District
- Park (Tracts) Zoning District

**3. RIGHT-OF-WAY (TRACTS) ZONING CATEGORY**

The Right-of-Way (Tracts) Zoning Category includes the Zoning District designations that provide for legal vehicular and pedestrian ingress and egress to all lots and tracts within the Project and, in concert with utility and drainage easements, provide corridors for utilities to service the REC PUD. The Right-of-Way (tracts) Zoning District is included within this Zoning Category.

**4. UTILITY (TRACTS) ZONING CATEGORY**

The Utility (Tracts) Zoning Category includes all Zoning District designations created to provide for any required major utility facilities such as water treatment plants and maintenance facilities that might be necessary to serve the REC PUD. The Utility Zoning Districts established by this PUD Guide include:

- Irrigation and Maintenance (Tracts) Zoning District
- Water and Wastewater (Tracts) Zoning District

#### **IV. DEVELOPMENT STANDARDS**

##### **A. ALLOWED USES**

###### **1. USE OF PLATTED LOTS AND TRACTS**

The Use Table [Table 3 (Appendix A)] establishes the uses permitted by right as a principal use. The table further identifies certain accessory uses which are permitted by right and Administrative Review or Limited Impact Review pursuant to the ULUR.

Uses that are not specifically identified in the Use Table [Table 3 (Appendix A)] shall be considered to be uses that are not permitted, except that any use that is not specifically identified but is included within or consistent with the definition of any uses permitted by right, and similar to or compatible with other uses permitted by right within a Zoning District, shall also be permitted as a use by right.

Only one principal use shall be located on a lot. However, there shall be no limit on the number of principal uses that may occur within any tract within the REC PUD provided said uses and structures conform to the dimensional, development and performance standards in this PUD Guide.

###### **2. USE OF UNPLATTED GROUND**

Unplatted ground may be used for horticultural, utility, stormwater, access purposes as well as any temporary construction uses approved in association with a Final Plat pursuant to Section IV.C.12 of this PUD Guide or as part of the Grading Plans for Phase D. All uses of unplatted ground shall convert to permitted uses as soon as practicable following platting. Horticultural uses may be permitted to be maintained until the existing crop is harvested for use within the REC PUD or as may be otherwise approved as part of the construction plans associated with any Final Plat.

###### **3. TWO-UNIT DWELLINGS**

Two-unit dwellings are permitted on certain lots within the Attached Home and Garden Home Zoning Districts as identified on the PUD Plan with lot designations of "A" and "B". In all cases, lots utilized for two-unit dwellings shall be split into two lots following construction and prior to occupancy in accordance with the amended plat provisions of the ULUR. A party wall agreement shall also be filed with said amended plat. Two-unit dwellings shall not be permitted to be occupied unless each unit is located on a separate lot created by amended plat and a party wall agreement has been filed for recording. Lots designated as "A" and "B" on the PUD Plan may be platted at time of Final Plat but the principal use shall be limited to One-Unit Dwellings.

**4. ACCESSORY USES**

Accessory uses shall be permitted in association with any principal use in accordance with the ULUR.

**5. INTERPRETATION OF PERMITTED USES**

In the event of any question as to the appropriate use type of any existing or proposed use or activity, the Director shall have the authority to determine the appropriate use type. In making such determination, the Director shall consider such characteristics or specific requirements of the use in common with those uses permitted by right. A determination of the Director may be appealed following the procedures established by the ULUR.

**B. DIMENSIONAL AND GENERAL DEVELOPMENT STANDARDS**

The following dimensional and general development standards shall apply to all lands within the REC PUD.

**1. DIMENSIONAL STANDARDS**

**a) General Dimensional Standards**

Table 4 (Appendix A) details the dimensional standards applicable to all zoning districts within the REC PUD. All development within the REC PUD shall conform to the dimensional standards specified herein. Development is further subject to additional building location and dimensional standards as provided for in the CCRS. Conformance with the dimensional standards herein contained does not guarantee conformance with the CCRS.

**b) Encroachments**

Front porches shall be permitted to encroach up to eight (8) feet into the front yard or side street yard. Bay windows and other architectural projections shall be permitted to encroach up to three (3) feet into the front yard or side street yard. No encroachment shall be permitted to encroach within or interfere with any drainage or utility easement.

**c) Garden Home Front and Rear Setbacks**

The front setback for Garden Homes is measures from the exterior boundary line of the Garden Home Tracts which is generally opposite the lot line (rear lot line) between the lot and Right-of-Way Tract containing the Garden Home Tract access road.

**2. DEVELOPMENT STANDARDS**

All development within the REC PUD shall conform to the development standards specified herein. Development is further subject to additional development standards as provided for in the CCRS. Conformance with the

development standards herein contained does not guarantee conformance with the CCRS.

**a) General Development Standards**

**(1) Lighting**  
All exterior lighting shall be full cutoff or cutoff design so the light source is not visible by adjacent property owners or lands upon any adjacent Community Space Tracts. Direct source lighting is not permitted (i.e., the actual light bulb is visible). See also specific standards by Zoning Category or District.

**(2) Fences**  
Wood rail fences are permitted on rear/side lot lines of residential lots to provide delineation of private space. Fences in front yards are prohibited.

Wood rail fences may also be permitted by the POA in Community Space Tracts to provide for protection of playgrounds and key or important features or to enhance safety. Fencing shall be placed in a manner that does not interfere with the ability of wildlife to cross roads and move between Open Space Tracts. Fencing along roads shall be prohibited unless necessary for safety.

Fences shall not exceed 4 feet in height.

**(3) Drainage**  
Positive drainage shall be maintained from all buildings. Lots shall be drained utilizing the designated drainage and utility easements. No lot owner shall take any action which adversely impacts the ability to utilize any drainage or utility easement located on their lot for its intended use.

**(4) Foundation Drains**  
Foundation drains shall be required for all deep foundations except foundations which are slab-on-grade. Foundation drains shall be drained to the designated stormwater channel or storm sewer identified on the Final Plat.

**(5) Landscaping and Reclamation**  
Landscaping shall be controlled by the CCRS and Design Guidelines. Disturbed soils shall be landscaped as soon as practical upon completion of construction. BMPs shall be maintained until such time as landscaping is established and ensures the retention of soils during rainfall events.

**(6) Clear Vision Triangle**  
No building or structure shall be located within a clear vision triangle.

- (7) **Hazard Mitigation**  
All development shall conform to the Hazard Mitigation Plan filed with the Final Plat and any plat notes.

**b) Zoning Category/District Specific Development Standards**

All development shall conform to the following development standards. Where both Zoning Category and Zoning District standards are provided, the Zoning District standards shall control in the case of a conflict.

**(1) Residential Zoning Category**

**(a) Driveways**

Driveways within the front yard shall be no wider than 10 feet. No driveway shall be permitted within the front yard on any lot which has access to an alley or internal access drive (i.e., Garden Home Lots). All lots shall only be permitted one driveway access to a Right-of-Way Tract.

**(b) Lighting**

No fixture shall be placed more than 10 feet above the surface it is intended to light.

**(c) Parking Areas**

A minimum of 2 off-street parking spaces shall be provided for each dwelling unit. The minimum dimensions for each off-street parking space are 9 feet by 18 feet. All off-street parking spaces shall be surfaced in asphalt or concrete.

**(2) Neighborhood Center Zoning District**

**(a) Parking and Drives**

One off-street parking space shall be provided for every 400 square feet of indoor floor area. Minimum dimensions for each off-street parking space are 9 feet by 20 feet. Parking accessibility including the ratio of required accessible parking spaces shall conform to ULUR. Paved surfaces shall be striped to demarcate the parking spaces.

Parking areas, loading areas, aisles, and access drives shall be paved with asphalt, concrete, or paving blocks adequate to support the intended traffic loads. Parking and drive surfaces shall be graded, with a minimum grade of 2% for asphalt, 1% for concrete, and 2% for paving blocks, or as otherwise determined by a Colorado Registered Professional Engineer.

Two-way drives accessing the parking areas and building shall be a minimum of 20 feet wide. Turning radii of all drives servicing the buildings shall conform to ULUR except that such radii may include providing hard surface tracking

aprons and mountable curbs as well as require the use of both travel lanes.

Parking area landscaping shall be controlled by the CCRS and Design Guidelines which landscape plans may be reviewed at the discretion of the County at time of building permit.

**(b) Lighting**

Light sources shall not exceed 15 feet in height.

**(3) Utility Zoning Category**

**(a) Parking and Drives**

One off-street parking space shall be provided for every 2000 square feet of indoor floor area. Parking and Drives shall conform to Section IV.B.2.b(2)(a) of this PUD Guide in all other respects.

**(b) Lighting**

Light sources shall not exceed 15 feet in height.

**(4) Open Space Zoning District**

**(a) Buildings Limited**

Buildings are limited to buildings associated with utility placements including the Glenwood Ditch. Buildings shall be limited in size to 100 square feet each.

**(b) Roads**

Roads are limited to utility maintenance roads. Roads shall be designed as two-track roads or utilize "grass" pavers adequate to support the required apparatus. Roads shall be limited to the maximum extent practicable and landscaped to limit the road's visual impact. Roads may be designed where appropriate as soft trails.

**(c) Parking and Drives**

Parking shall be prohibited in Open Space Tracts except in association with utility and open space maintenance and construction.

**(d) Lighting**

Exterior lighting shall be prohibited in Open Space Tracts except as necessary to meet Federal and State regulatory standards in association with the placement of any utility facilities but shall be applied in a manner that limits the amount lighting and light spill from the areas required to be lit to the maximum extent practicable.

(5) **Common Area Zoning District**

(a) ***Buildings Limited***

Buildings are limited to buildings associated with utility placements including the Glenwood Ditch; small open-air recreational structures such as pavilions; and restrooms less than 1000 sq feet each. No utility building shall exceed 100 square feet.

(b) ***Roads***

Roads are limited to utility roads. Roads shall be designed as two track road or with "grass" pavers adequate to support the required apparatus, but shall be limited to the maximum extent practicable and landscaped to limit their visual impact.

(c) ***Parking and Drives***

On-street parking is generally considered adequate to serve any potential Common Area Tract uses. No designated parking spaces shall be permitted. Parking required for utility facilities shall occur on maintenance roads.

(d) ***Lighting***

No exterior lighting shall be permitted except bollard trail head lighting or security lighting determined to be necessary by the POA. Any lighting shall be full cutoff, cutoff, or semi-cutoff fixtures, as may be most appropriate for the intended purpose. Additionally lighting, as may be required to meet State or Federal regulatory standards in association with a utility facility, shall be permitted, but shall be applied in a manner that limits the amount lighting and light spill from the areas required to be lit to the maximum extent practicable.

(6) **Garden/Orchard Zoning District**

(a) ***General Development Standards***

Garden and Orchard Tracts shall meet the same development standards as Common Area Tracts.

(b) ***Wildlife Controls***

Seasonal wildlife proof fences shall be used to protect active garden and orchard areas from bears and other wildlife. Composting shall only occur in bear-proof containers.

(7) **Right-of-Way Zoning District**

(a) ***General Development Standards***

Streets shall be designed and constructed in accordance with the approved Final Plat and the road standards herein contained (Appendix B). All Right-of-Way Tracts shall be



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maintained in a manner that facilitates access to lots and tracts and provides for adequate emergency ingress and egress.

Landscaping shall be controlled by the CCRS and Design Guidelines which landscape plans may be reviewed at the discretion of the County at time of Final Plat.

**(b) Lighting Standards**

Lighting shall meet the requirements of the Lighting Plan approved as part of the Final Plat.

**3. LANDSCAPE STANDARDS**

**a) Landscaping Required**

All land within the REC PUD shall be landscaped in accordance with this PUD Guide, the CCRS, and Design Guidelines. The County shall have no obligation to enforce the provisions of the CCRS or Design Guidelines with respect to landscaping. Landscaping shall be installed as soon as practicable after the land is disturbed and construction has been completed which shall generally be presumed to be no longer than 30 days following completion of construction when construction is completed during the growing season (i.e., May 1-October 1) or June 1 of the following year unless otherwise approved. As long as soil is in a non-vegetated state or in a disturbed condition, erosion and sediment control measures shall be maintained in accordance with Section IV.B.4 of this PUD Guide.

All plant materials must be kept in a healthy condition. Dead plants must be removed and replaced as soon as practicable which shall generally be presumed to be the spring of the next growing season. Landscaping must include a properly functioning automated sprinkler and/or drip irrigation system, with individual zones for non-turf areas.

**b) General Landscape Standards**

All landscaping shall conform to the following general landscape standards.

**(1) Fire Hydrants and Utilities**

Landscaping shall not obstruct fire hydrants or utility boxes. Trees and shrubs shall not be planted within 4 feet of existing overhead or underground lines.

**(2) Clear Vision Triangle**

Landscaping shall be planted and maintained in a manner that does not impact site distances at street and alley/court intersections. A clear vision triangle shall be maintained at all street and alley/court intersections. No shrubs greater than 30 inches high shall be

planted within a clear vision triangle. Trees within a clear vision area shall be pruned of branches lower than 8 feet above the ground.

**(3) Parking and Storage Prohibited**

Areas required as landscaping shall not be used for parking, outdoor storage and similar uses, but may be used for snow storage provided drainage and potential pollutants are managed so as not to impact stormwater water quality or flood adjacent properties.

**4. STORMWATER**

All construction and construction sites shall conform to the requirements of the Colorado Water Quality Control Act and Clean Water Act. Owners are responsible for ensuring that their property conforms with these requirements at all times and that required CDPS Permits are obtained. Regardless of whether or not a CDPS Permit is required for any proposed construction or on any construction site, appropriate BMPs shall be maintained at all times and storm drainage facilities including ditches, storm drains, drainage easements, roads and sidewalks, and streams, rivers and ponds shall be maintained free of sediment or other pollutant discharges. Any owner discharging sediment or other pollutants to any storm drainage facilities shall be responsible for any damage caused by such discharge and shall be responsible for clean up.

**C. SPECIFIC USE, FACILITY AND ACTIVITY STANDARDS**

**1. ACCESSORY USES**

Accessory uses are permitted in association with all principal uses. Accessory uses shall not be sited prior to the principal use and shall be clearly secondary to the principal use in scale.

**2. ANIMAL RESTRICTION**

Animals are permitted on residential lots subject to Garfield County regulations, with the exception that the keeping of horses, other livestock, or poultry which is prohibited.

**3. DAY CARE AND GROUP HOMES**

Day care and group homes shall conform to the requirements of and be subject to review under the ULUR as provided for by Section II.B.1 of this PUD Guide.

**4. ROAD AND TRAIL DESIGN STANDARDS**

**a) Roads**

Roads shall be designed and constructed in accordance with the standards in Appendix B. Pavement design shall be in accordance with the recommendations of a geotechnical engineer at time of Final Plat.

**b) Pedestrian and Trail System**

A sidewalk system with 5 foot wide sidewalks on both sides of every street within the REC PUD with the exception of alleys and courts shall be designed and constructed in association with each Final Plat. This system shall be 100% ADA compliant and provide access to all the major amenities of the community.

A soft trail system Interconnects with the sidewalk system and forms an approximate 1.5 mile secondary pedestrian network connecting the various residential areas to each other and to the open space and recreation areas shall be designed and constructed in association with each Final Plat.

The soft trail shall be constructed to meet the following criteria:

- 4' wide, compacted decomposed granite surface within 4" minimum depth, sealed, over a weed barrier fabric and compacted sub-grade.
- 8' wide easement for each path segment which can overlap with utility easements.
- Up to 8% gradients but not fully ADA compliant, with stairs and segments greater than 8%.

**5. SIGNAGE**

All signage shall conform to the requirements of the ULUR as provided for by Section II.B.1 of this PUD Guide except that the following signage shall be additionally permitted.

**a) Community Identification, Wayfinding and Educational Signs**

Community identification, wayfinding and educational signs shall be permitted in accordance with the following standards. Community identification and Garden Home Identification Signs shall obtain a sign permit from Garfield County in accordance with Article XI of the ULUR. Wayfinding and educational signs placed by the POA shall be exempt from obtaining a sign permit from Garfield County.

**(1) Community Identification Sign-Tract AY**

Tract AY shall be permitted one ground-mounted development/subdivision identification sign which shall not exceed 100 square feet in area and 8 feet in height. The sign shall be setback a minimum of 10 feet from all lot/tract lines. The placement and design of the sign and any associated plantings shall meet CDOT criteria for the clear vision triangle. The sign shall further comply with the requirements of the RFTA Open Space Easement recorded in Book 1143 at Page 1 and amended in Book 1217 at Page 593. The

sign may be unlighted or lighted in one of the following ways: (a) backlit utilizing individual back lit letters or logos which are silhouetted against a softly illuminated wall; (b) utilized individual letters with translucent faces, containing soft lighting elements inside each letter; (c) metal-faced box signs with cut-out letters and soft-glow fluorescent tubes; or (d) sign face lighted with shielded downcast lights. The signs shall be illuminated only with steady, stationary, shielded light sources directed solely onto the sign without causing glare. Light bulbs or lighting tubes used for illuminating a sign shall not be visible from adjacent street or residential properties. The intensity of sign lighting shall not exceed that necessary to illuminate and make legible a sign from the adjacent travel way; and the illumination of a sign shall not be obtrusive to the surrounding area.

- (2) **Community Identification Sign-Community Space Tracts**  
One ground-mounted community identification sign shall be permitted on each street frontage of any Community Space Tract. No community identification sign except that permitted on Tract AY and Tract AA shall exceed 30 square feet in area and 5 feet in height. The ground-mounted community identification signs located on Tract AA may be enlarged to 50 square feet to include tenant information. Ground-mounted community identification signs may be unlighted or meet the lighting standards for Community Identification Signs in Tract AY.
- (3) **Garden Community Identification Sign-Garden Home Tracts**  
One ground-mounted garden home tract identification sign shall be permitted at each entry to any Garden Home Tract. No garden home tract identification sign shall exceed 30 square feet in area and 5 feet in height. Ground-mounted signs may be unlighted or meet the lighting standards for Community Identification Signs in Tract AY. The ground-mounted garden home tract identification sign, if utilized, shall include the range of addresses included within the Garden Home Tract.
- (4) **Wayfinding and Educational Signs**  
Unlighted wayfinding and educational signs may be located on any Community Space Tract. Signs shall be no taller than 8 feet and have a sign area of no more than 10 square feet.

**6. FIREPLACES**

Open hearth, solid-fuel fireplaces shall be prohibited. Natural gas and any solid-fuel burning stove (defined by C.R.S. 25-7-401 et. seq.) shall be permitted.

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**7. NOISE**

Noise shall not exceed applicable State noise standards. Additional applicable noise standards shall be applicable to all utility facilities and temporary construction and development activities.

**8. UTILITIES DISTRIBUTION AND COLLECTION SYSTEMS UNDERGROUND**

All utilities except control panels and boxes shall be located underground.

**9. UTILITY FACILITIES**

**a) Vibration**

All utility installations or facilities shall be so operated as not to create a vibration which is perceptible without instruments by the average person at or beyond any lot line of the lot containing such activities. Ground vibration caused by motor vehicles, trains, and temporary construction or demolition work is exempted from this standard.

**b) Smoke**

All utility installations or facilities shall be so operated as not to emit visible smoke as dark as Ringelmann number 2 or its equivalent opacity for more than three minutes in any one-hour period, and visible smoke as dark as Ringelmann number 1 or its equivalent opacity for more than an additional seven minutes in any one-hour period. Darker or more opaque smoke is prohibited at any time.

**c) Particulate Matter and Air Contaminants**

All utility installations or facilities shall be so operated as not to emit particulate matter or air contaminants which are readily detectable without instruments by the average person at or beyond any lot line of the lot containing such activities.

**d) Odor**

All utility installations or facilities shall be so operated as not to emit matter causing unpleasant odors which are perceptible by the average person at or beyond any lot line of the lot containing such activities.

**e) Humidity, Heat, Cold, and Glare**

All utility installations or facilities shall be so operated as not to produce humidity, heat, cold, or glare which is perceptible without instruments by the average person at or beyond any lot line of the lot containing such activities.

**10. TRASH STORAGE AND PICK-UP**

All trash placed outdoors shall be in bear-proof trash containers.

**11. HOME OCCUPATIONS**

Home occupations shall conform to the requirements of and be subject to review under the ULUR as provided for by Section II.B.1 of this PUD Guide.

**12. CONSTRUCTION ACTIVITIES AND PLANS, USES AND STANDARDS**

Construction activities shall conform to the following standards and requirements.

**a) Construction Activities and Plans**

**(1) Phase 0 Site Reclamation**

The property within the boundaries of the REC PUD was heavily damaged by previous grading activities. Reclamation activities as generally identified in Appendix C are permitted to occur within the entirety of the REC PUD boundaries in advance of platting. Prior to undertaking reclamation activities, detailed plans for reclamation shall be submitted to the the Garfield County Planning and Building Department which plans shall include the locations of proposed activities and actions including equipment storage and contractors offices and other facilities, grading, BMPs, drainage, storage areas for materials, and locations of materials processing along with standards for the proposed activities including standards for dust control, noise, and hours of operation generally consistent with this PUD Guide and the ULUR. The Phase 0 Site Reclamation shall be administratively approved or disapproved by the Director within 30 days of submittal and a grading permit and any necessary building permits issued subject to security guaranteeing the completion of the work being accepted by the BoCC.

**(2) Construction Activities in Association with a Final Plat**

At the time of submission of Final Plat, detailed construction plans shall be submitted and approved concurrent with the Final Plat. The construction plans shall address all aspects of Final Plat infrastructure, facilities and housing construction. Construction activities may be permitted both within the boundaries of the Final Plat and on unplatted lands within the REC PUD. The construction plans shall detail the staging areas, fabrication areas, construction and fabrication operations, equipment storage, location of construction facilities such as construction office and equipment and materials storage, construction BMPs, materials processing, drainage, dust control, and noise along with standards of operation and performance of all such activities so as to minimize impacts to surrounding properties to the maximum extent practicable in

accordance with this PUD Guide and the ULUR. Activities located outside the platted areas shall be appropriately secured to ensure their removal and/or restoration upon completion of construction in association with the Final Plat or such other time as may be agreed to by the BoCC in approving the Final Plat. The plans approved concurrent with Final Plat shall constitute the approved construction plans. All approved construction plans shall include detailed plans concerning restoration activities and appropriate restoration security provisions.

**b) Construction Uses**

**(1) Accessory Uses**

In association with approved construction activities, accessory construction uses include temporary restrooms, port-a-lets, break or changing rooms, construction offices, model homes, mobile food service wagons, and other buildings and facilities of a temporary nature necessary to support construction activities shall be permitted on both platted and unplatted ground within the REC PUD in accordance with the approved construction plans.

**(2) Materials Processing**

Materials processing including crushing and concrete batch plants shall be permitted in association with construction in accordance with the approved construction plans. Dust control, screening, hours of operation and noise abatement measures shall be appropriately integrated into any approved construction plans.

**(3) Construction Signs**

Temporary construction signs denoting the architect, engineer or contractor for a project under construction are permitted provided there is only one sign per lot frontage, the sign area does not exceed 24 square feet, the sign does not exceed 6 feet in height, and the sign is removed within 7 days following after the issuance of the Certificate of Occupancy for the project.

**(4) Contractor's Equipment and Materials Storage Yard**

Contractor's equipment and materials storage yards shall be permitted in association with construction in accordance with the approved construction plans.

**(5) Infrastructure and Building Fabrication**

Infrastructure and building fabrication areas may be proposed within the REC PUD at time of Final Plat as part of the construction plans on either platted or unplatted ground which may include buildings. Appropriate standards for ensuring minimization of impacts along with clearing and site restoration including

appropriate security to cover such activities shall be included within the construction plans.

**c) Standards**

- (1) Drainage and BMPs**  
Construction site drainage shall conform to all Federal, State and local standards, regulations and laws. A Storm Water Management Permit and required BMPs shall be maintained at all times through restoration and revegetation.
- (2) Fuel Storage Areas**  
Containment measures shall be provided for all fuel storage areas to prevent release into any waterbody. Inventory management or leak detection systems may be required. These measures shall be addressed in the construction plans as part of the Phase 0 Site Reclamation or Final Plat.
- (3) Noise and Hours of Operation**  
Noise during construction shall meet Garfield County and State standards and laws. Outdoor construction activities shall not occur prior to 7:00 am or later than 7:00 pm. Reasonable additional noise and timing conditions may be placed by the BoCC in approving any Final Plat or Director in approving Phase 0 construction activities consistent with noise and hours of operation standards in the ULUR.
- (4) Machine Maintenance**  
Maintenance of vehicles or mobile machinery is prohibited within 100 feet of any waterbody. Emergency maintenance may be conducted until the vehicle or machinery can be moved. These measures shall be addressed in the construction plans as part of the Phase 0 Site Reclamation or Final Plat.
- (5) Spill Prevention**  
Measures shall be implemented to prevent spilled fuels, lubricants or other hazardous materials from entering a waterbody during construction or operation of equipment and/or facility. If a spill occurs it should be cleaned up immediately and disposed of properly. These measures shall be addressed in the construction plans as part of the Phase 0 Site Reclamation or Final Plat.
- (6) Waste Storage**  
Areas used for the collection and temporary storage of solid or liquid waste shall be designed to prevent discharge of these materials in runoff from the site. Collection sites shall be located away from the storm drainage system. Other best management practices such as covering the waste storage area, fencing the site, and constructing a perimeter dike to exclude runoff may also be

required. These measures shall be addressed in the construction plans as part of the Phase 0 Site Reclamation or Final Plat.

## **V. ENVIRONMENTAL HAZARDS AND RESOURCES**

The REC PUD includes some environmental hazards and resources of importance to the development of the REC PUD. These hazards and resources include: geotechnical hazards (Geohazard Buffer Area), slope instability areas, heron protection area, heron activity areas, conservation easement access control area, and floodplains. The areas are shown on the PUD Plan and any Final Plat on which standards or controls may be applicable. These hazards and resources should be considered at time of Final Plat and when undertaking the development of any lot or tract within the REC PUD.

### **A. GEOHAZARD AREAS**

The Geohazard Buffer Zone is an 80 foot buffer area around geologic hazards identified at the time of approval of the PUD Plan. These areas as well as areas identified during Phase 0 Site Reclamation, within each Final Plat shall be investigated prior to platting and any "geohazard areas" identified at that time shall be shown on the Final Plat. Each Final Plat shall include a plat note requiring that no structures shall be located within designated "geohazard areas" unless investigations are completed and appropriate mitigation measures are proposed by a qualified engineer and such mitigation is implemented as part of construction. Detailed mitigation plans of utilities and road crossings of "geohazard areas" identified on the PUD Plan or on any Final Plat shall be provided at time of Final Plat and implemented at time of construction.

Additionally, foundation drains are required in association with Section IV.B.2.a.(4) of this PUD Guide. At time of Final Plat, lots on which deep foundations will be allowed and the location of the foundation drain discharge shall be identified on the Final Plat.

### **B. SLOPE INSTABILITY AREA**

Slope instability areas are proposed for mitigation during Phase 0 Site Reclamation. No structures shall be placed in areas identified as being subject to slope instability on any Final Plat. Engineered plans stamped by a qualified engineer of all roads, pipelines, utilities and other facilities crossing areas located within a Slope Instability Area shall address the hazard and include specific and appropriate mitigation to ensure the reasonable protection of life and property. All mitigation measures shall conform to any hazard mitigation plan approved as part of a Final Plat.

### **C. HERON ACTIVITY AREA**

At the time of Final Plat, the "Heron Activity Area" will be established on the face of the Final Plat by plat note identifying which lots are subject to construction timing restrictions. The "Heron Activity Area" shall be established by a site visit to active heron nesting trees by an accredited wildlife biologist during the spring months prior to filing of any Final Plat. Empty or unused nests or roost trees shall not be considered active heron nesting trees. Any lots on the Final Plat located within 200 meters of an active heron nesting trees as designated on the Final Plat shall be subject to a construction

season restriction which shall provide for no external construction activities for new building erection between March 1 through August 1. After the initial construction of subdivision infrastructure required under any subdivision improvement agreement and initial home construction within the boundaries of a Final Plat, the construction restriction shall no longer be applicable. The PUD Plan identifies the boundaries of the "Heron Activity Area" that would exist as of the date of the filing of the PUD Plan for purposes of illustration and shall have no regulatory effect.

The restrictions associated with the "Heron Activity Area" are only enforceable by the POA (or its assigns). Garfield County shall have no responsibility to enforce but shall have the right to enforce the restrictions placed upon the Final Plat.

#### **D. FLOODPLAINS**

No structures or fill shall be placed within an identified floodplain on the PUD Plan or on the applicable Flood Insurance Rate Map except as specifically provided for by the REC PUD to facilitate utility and bridge crossings of Cattle Creek. Work within any floodplain shall require approval by Garfield County in accordance with Garfield County's floodplain regulations.

#### **E. WETLANDS**

Wetlands shown on the PUD Plan were mapped in 2010 and represent the jurisdictional wetlands present on or immediately adjacent to the REC PUD at that time as defined by State and Federal laws. All activities within wetlands shall conform to Garfield County regulations and State and Federal law except as provided by specific modifications approved by the BoCC as part of the PUD and Preliminary Plat approval.

### **VI. DEFINITIONS**

#### **A. WORD CONVENTIONS**

The following guidelines and conventions shall be used in interpreting this PUD Guide:

- In general, words used in the present tense shall include the future; the singular shall include the plural; and the plural the singular.
- The words "shall," "must," "will," "shall not," "will", "may not," "no ... may," and "no ... shall" are always mandatory. The word "should" indicate that which is recommended but not required. The word "may" indicates a use of discretion in making a decision.
- The word "used" includes "designed, intended, or arranged" to be used.
- The masculine gender includes the feminine and vice versa.
- References to "distance" shall mean distance as measured horizontally unless otherwise specified.

- When used with numbers, "Up to x," "Not more than x" and "a maximum of x" all include x.
- Unless the context otherwise clearly indicates, conjunctions have the following meanings: (1) "And" indicates that all connected items or provisions apply; (2) "Or" indicates that the connected items or provisions may apply singularly or in combination; and (3) "Either...or" indicates that the connected items or provisions apply singularly, but not in combination.
- All definitions which reference the C.R.S. and Building Code are generally intended to mirror the definitions used and in effect on the effective date of this PUD Guide or as they may be subsequently amended. If a definition in this PUD Guide conflicts with a definition under State statute or regulation, the State definition shall control over the PUD Guide definition except where a definition in this PUD Guide has further limited the size, number, or other specific parameter associated with a defined use.
- The dimensional standards herein are considered mandatory. However, the diagrams and illustrations that accompany the dimensional standards are illustrative. Where a conflict between any dimensional standard and diagram or illustration occurs, the dimensional standard shall control.
- Uses shall be interpreted in accordance with this PUD Guide.

**B. SPECIFIC DEFINITIONS**

The following are the definitions for the terms contained in this PUD Guide. Words defined herein shall have the specific meaning assigned, unless the context clearly indicates another meaning. Words used in this PUD Guide shall have the definitions contained in the ULUR unless they are specifically defined herein or their dictionary meaning if defined neither herein or in the ULUR. If it is determined that any definition contained in the ULUR is applicable to the REC PUD and is in whole or partially in conflict with a definition set forth herein, the interpretation will favor consistency with the definitions and provisions in this PUD Guide.

The definitions are organized alphabetically.

**1. ACCESSORY USE**

A use located on the same lot or tract as the principal building, structure or use to which it is related and that is supportive, secondary, and subordinate to and customarily found with the principal use of the land.

**2. ACTIVE RECREATION AND SERVICES**

Active recreation refers to a mix of recreation uses that includes the following facilities or facility types: athletic fields, building or structures for recreational

activities, concessions, community gardens and orchards, restrooms, sport courses or courts, children's play area, dog play areas, bike and walking paths, trails and associated facilities and may provide for supervised or unsupervised recreational activities. Neighborhood Center Tracts may also include community or recreation centers, pools, and accessory uses such as Community Service Uses. Such accessory services shall be designed and scaled to serve the residents of the REC PUD and their guests and recreationist utilizing any adjacent and internal public recreation facilities.

**3. ADMINISTRATION FACILITIES**

Metropolitan district or property owners' association offices including contractors providing administrative, clerical or public contact services that deal directly with the citizen and governmental functions, together with the incidental storage and maintenance of necessary vehicles.

**4. AFFORDABLE HOUSING AGREEMENT (AHA)**

An agreement between the applicant and Garfield County based upon the Affordable Housing Plan as required by Article VIII of the ULUR for the REC PUD.

**5. ALLEY**

A roadway designed to serve as access to the side or the rear yard of those properties whose principal frontage is on a street or Community Space.

**6. ARCHITECTURAL CONTROL BOARD ("ACB")**

The Architectural Control Board of the REC PUD established by the CCRS.

**7. ARCHITECTURAL PROJECTION**

Any projection that is not intended for occupancy and that extends beyond the face of an exterior wall of a building, including, without limitation, a porch, roof overhang, mansard, unenclosed exterior balcony, marquee, canopy, awning, pilaster and fascia, but not including a sign

**8. ATTACHED HOME (LOT) ZONING DISTRICT**

A zoning district intended to provide large lots for medium sized attached or detached homes with limited private outdoor space. Attached Home Lots provide for zero lot line development with at least 10 feet between buildings. Attached Home Lots may be developed with attached homes on adjoining lots or coordinated with adjacent detached homes to provide larger side yard areas by offsetting homes to one side or the other on each lot. The intent is that attached homes be designed to mimic the look of a large single-unit dwelling. Attached Home Lots generally should be located internally to the development and front streets or Community Spaces. Attached home lots provide for somewhat limited architectural variation but substantial lot layout variation due

to the variety of attached and detached arrangements that may be constructed. Attached Home Lots are alley loaded. Only one home is permitted per lot.

**9. BERM**

Berm means a strip of mounded topsoil which provides a visual screen.

**10. BEST MANAGEMENT PRACTICES (BMPS)**

The specific management practices used to control pollutants in storm water. BMPs are of two types: "source controls" (nonstructural) and "treatment controls" (structural). Source or nonstructural controls are practices that prevent pollution by reducing potential pollutants at their source, such as proper chemical containment construction sites, before they come into contact with stormwater. Treatment or structural controls, such as constructed water quality detention facilities, remove pollutants already present in storm water. Best Management Practices can either be temporary, such as silt fence used during construction activity, or permanent detention facilities, to control pollutants in stormwater.

**11. BOARD OF COUNTY COMMISSIONERS ("BOCC")**

The Board of County Commissioners of Garfield County whose authority and procedures are described in the C.R.S. and ULUR.

**12. BUILDING**

Any structure built for the support, shelter or enclosure of persons, animals or property of any kind. Portions of buildings connected by fully enclosed attachments that are useable by the buildings' occupants shall be treated as one building

**13. BUILDING CODE**

The Building Code adopted and enforced by Garfield County, Colorado at the time a permit for construction of a building or structure, or other activity requiring a building permit from Garfield County is required.

**14. BUILDING COVERAGE**

Building Coverage means the total area of a lot or tract covered by a building or buildings, measured at the ground level. Building Coverage is measured from outside of all exterior walls at ground level and shall include stairways, fireplaces, all cantilevered or supported building areas, ground level covered porches and decks, garages, and swimming pools. Building Coverage does not include roof overhangs; unenclosed walkways; usable areas under above-grade porches and decks, uncovered decks, porches, patios, terraces and stairways, less than 30 inches high; or similar extensions.

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**15. BUILDING ENVELOPE**

The portion of a lot or tract depicted and designated as a "Building Envelope" on the PUD Plan and whose boundaries are legally defined on the Final Plat. The specific purpose of all proposed building envelopes is identified within this PUD Guide. All buildings must be located entirely within the Building Envelope, provided however that driveways, entry/address monuments, parking lots, utilities, grading, irrigation and drainage systems, retaining walls, water features, sports courts, playgrounds, landscaping and such other similar facilities may be located outside the Building Envelope unless otherwise specifically restricted within this Guide.

**16. BUILDING HEIGHT**

The vertical distance measured from the average elevation of the finished grade adjoining the building to the highest point of the roof surface, if a flat roof; to the deck line of mansard roofs; and to the mean height level between eaves and ridges for gable, hip and gambrel roofs. The height shall be measured as the averaged maximum height of any building segment from finished grade at any point directly above that grade location. Architectural projections including towers, spires, cupolas, chimneys, observation towers, and flagpoles may extend above the maximum building height not more than 10 feet.

**17. BUS STOPS, BENCHES, AND SHELTERS**

Roadside pullouts or signed areas with street furnishings and small bus shelters used as a staging location for travelers to transfer between pedestrian and bicycle modes and transit.

**18. CLEAR VISION TRIANGLE**

The area created by drawing an imaginary line between points 20 feet back from where the curb lines of the intersection quadrant meet.

**19. COMMON AREA (TRACT) ZONING DISTRICT**

A zoning district intended for a variety of community uses. These tracts are generally located within residential areas of the development to be left open to break up residential areas with landscaping and allow for pedestrian circulation connections to occur between the community spaces. Community gardens and orchards or other community-oriented uses desired by the residents within the REC and not involving the construction of buildings can be permitted in the Common Area Tracts unless specifically restricted. Common Area Tracts such as at the entry to the REC and at entry points to the trail may include identifying, educational, and direction/wayfinding signage. Drainage facilities and buried utilities and associated appurtenances are provided for in Common Area Tracts.

The use of Common Area Tracts will evolve over time as there is need for improvements. The intent is to reserve flexibility for community uses desired by the residents into the future. Generally, however, these spaces will remain open

and be planted with a mixture of native and cultivated species and serve as transitions to Open Space Tracts.

**20. COMMUNITY GARDEN OR ORCHARD**

A vegetable garden and/or orchard that is communally cultivated and cared for, which use shall be permitted on the Garden/Orchard Tracts. Subject to the CCRS, Garden/Orchard Tracts may consist of individual plots, multiple caretaker areas, sitting areas, small-scale children's play areas and other accessory horticultural related uses, and may be used for community festivals and celebrations.

**21. COMMUNITY IDENTIFICATION, WAYFINDING AND EDUCATIONAL SIGN**

A sign placed by the POA (or its assigns) identifying the REC community or features therein, providing location and directional information within the community, or providing educational or other necessary information to residents and visitors.

**22. COMMUNITY MEETING FACILITY OR RECREATION HALL**

A facility for public gatherings and holding events such as weddings, wedding receptions, community meetings and meetings and events sponsored by individuals, groups, or organizations having an ownership interest in the REC PUD.

**23. COMMUNITY SERVICE FACILITIES**

A facility for government, special districts, quasi-governmental or property owners' association maintenance and service vehicles, equipment, supplies, office and staff to serve the REC PUD area.

**24. COMMUNITY SERVICE SPACE(S)**

Leasable space within the Neighborhood Center, which space may be used for Community Service Use(s). Community Service Space(s) shall be owned by the POA or their assigns.

**25. COMMUNITY SERVICE USES**

Not-for profit or for-profit uses that may, subject to the PUD Plan and the CCRS, be operated within the Community Service Space(s), if any. Community Service Uses shall be operated by a Community Service Tenant for the benefit of residents of the Community and may include, without limitation, a day care facility, a sandwich/coffee shop, and/or a health club.

**26. COMMUNITY SERVICE TENANT**

A tenant or concessionaire of any Community Service Space operating a Community Service Use.

**27. COMMUNITY SPACE ZONING CATEGORY**

Those areas identified as Open Space, Common Area, Garden/Orchard, and Neighborhood Center Zoning Districts by the PUD Guide and PUD Plan and created as Tracts by a Final Plat. Community Spaces are provided as a means of establishing areas for community activities and providing community outdoor spaces and amenities.

**28. CONSERVATION EASEMENT**

A certain Grant of Conservation Easement, dated February 3, 2000, by and between Sanders Ranch Holdings, LLC, its successors and assigns, as grantor, and Roaring Fork Conservancy ("RFC"), as grantee, recorded at Reception Number 559036 and survey map, dated December 24th, 2008, defining the boundaries of said easement recorded at Reception Number 804200 in the real property records of Garfield County, Colorado, as the same has been or may be supplemented or amended from time to time.

**29. CONSTRUCTION**

To make or form by combining or arranging building parts or building elements, to include but not limited to examples such as road construction, community or recreation facility development, utility facility development, home construction, or parks development, and including the initial disturbance of soils associated with clearing, grading, or excavating activities or other construction-related activities (e.g., stockpiling of fill material).

**30. CONSTRUCTION SIGN**

Construction sign means a temporary sign announcing development, construction or other improvement of a property by a building contractor or other person furnishing services, materials or labor to the premises, but does not include a "real estate sign."

**31. CONSTRUCTION SITE**

Any location where construction or construction related activity is occurring.

**32. CONSTRUCTION STORM WATER MANAGEMENT PLAN (SWMP)**

A specific individual construction plan that describes the Best Management Practices (BMPs), as found in the current SWMM, to be implemented at a site to prevent or reduce the discharge of pollutants. The purpose of a SWMP is to identify possible pollutant sources to stormwater and to set out BMPs that, when implemented, will reduce or eliminate any possible water quality impacts.

**33. CONSTRUCTION USES AND ACTIVITIES**

Construction-related uses include those uses necessary, supportive or incidental to the construction of the REC PUD or construction of homes, buildings or facilities within the REC PUD during the development period.

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- 34. CONTRACTOR'S EQUIPMENT AND MATERIALS STORAGE YARD**

The temporary use of land for the purpose of storing machinery, equipment and supplies including office and repair facilities for use in supporting construction activities associated with the development of REC PUD infrastructure or housing, buildings or facilities within the REC PUD and approved as part of the construction plans at time of Final Plat.
- 35. COVENANTS, CONDITIONS AND RESTRICTIONS ("CCRS")**

Covenants, Conditions and Restrictions for River Edge Colorado (the "CCRS") recorded in the official records of Garfield County, as they may be amended from time to time by the POA.
- 36. DAY CARE CENTER**

A non-residential facility licensed by the State of Colorado for the care and supervision of more than 8 children or adults for periods of less than 24 hours per day. Day care centers include preschools and nursery schools.
- 37. DAY CARE HOME**

A private residence used for the care of 8 or fewer children other than the operator's own children for a period of less than 24 hours per day and the operator of which possesses a license from the State of Colorado.
- 38. DESIGN GUIDELINES**

River Edge Colorado Design Guidelines as defined in the CCRS. The Design Guidelines establish architectural and building material standards, landscape design requirements, site design criteria, and a design review process for development within REC PUD and are adopted by the POA and may be amended from time to time. The Design Guidelines shall not be administered by Garfield County.
- 39. DEVELOPER**

Developer means any person who seeks a permit or approval for the construction of a development from Garfield County.
- 40. DEVELOPMENT**

Any change to improved or unimproved real estate, including, without limitation, constructing, relocating, rehabilitating, reconstructing or expanding or enlarging (but not maintaining) a building or other structure or portion thereof, or establishing or changing a use, or mining, dredging, filling, grading, paving or excavation.

**41. DEVELOPMENT AGREEMENT**

The agreement entered into with the BoCC detailing any commitments made between a developer and Garfield County for the REC PUD.

**42. DIRECTOR**

The Director of the Garfield County Building and Planning Department, or authorized representative, or such other person who may be named by title by the Garfield County Board of Commissioners to administer Garfield County's Unified Land Use Resolution (ULUR) or other such code intended to govern land use in Garfield County.

**43. DWELLING UNIT**

One or more rooms designed to function as a single living facility and containing only one kitchen plus living, sanitary and sleeping facilities.

**44. DWELLING, SINGLE-UNIT**

A dwelling unit located on a lot with no physical or structural connection to any other dwelling unit.

**45. DWELLING, TWO-UNIT**

A dwelling unit within a structure containing two dwelling units, each of which has primary ground floor access to the outside and are attached to each other by party walls without openings, and where each dwelling unit is located on its own lot, and which may include interest in common areas, land and facilities appurtenant to the dwelling units. A Two-Unit Dwelling does not share common floor/ceilings with another dwelling unit.

**46. EXECUTIVE (LOT) ZONING DISTRICT**

A zoning district intended to provide semi-private residential lots for the development of large custom single-unit dwellings. These lots provide areas for custom homes and allow for the architectural variation. Executive lots may or may not front a street or alley (i.e., Right-of-Way Tract) and may be accessed via long private driveways located within designated access and utility easements.

**47. ESTATE (LOT) ZONING DISTRICT**

A zoning district intended to provide large street-oriented residential lots for the development of large single-unit dwellings. These lots generally should be located along the western and southern edge of the development area. These lots provide areas for custom and semi-custom homes, allow for substantial architectural variation, and provide generous private outdoor spaces. Estate Lots are front loaded.

**48. FILING OR SUBDIVISION FILING**

A Final Plat within the REC PUD.

**49. FINAL PLAT**

A map with supporting statements of certain described land prepared in accordance with the ULUR and approved by the BoCC and recorded in the Garfield County Clerk and Recorder's office. (C.R.S. 30-28-101 (5))

**50. FLOOR AREA**

The total square footage of all levels of a building except a basement, as measured at the inside face of the interior walls. Excluded from the definition of floor area are balconies and terraces, decks and patios whether covered or not, covered walkways, other roofed facilities which are not enclosed, basements and crawl spaces, mechanical rooms, garages or other enclosed parking areas, and attic spaces.

**51. FRONT LOT LINE**

The boundary of a lot located along a street (i.e., Right-of Way Tract). On a corner lot, the Front Lot Line is the line which best conforms to the pattern of the adjacent block faces. In the case of alley accessed and loaded lots, the Front Lot Line shall be boundary of a lot which is most nearly opposite and most distant from the Rear Lot Line.

**52. FRONT SETBACK LINE**

The imaginary line extending across the full width of a lot, parallel with the Front Lot Line between which no building, structure, or portion thereof shall be permitted, erected, constructed, or placed except a front porch, bay window, or architectural projections.

**53. FRONT YARD**

The area between the Front Lot Line and Front Setback Line.

**54. GARDEN HOME TRACT**

A tract of land generally designated for development of Garden Home Lots. Portions of the Garden Home Tract may be designated, zoned and platted as Right-of-Way Tracts or Common Area Tracts. The tract designation is used only as a means of providing cross-references and general standards for Garden Home lot platting and development and does not serve as a formal designation.

**55. GARDEN HOME (LOT) ZONING DISTRICT**

A zoning district intended to provide locations for smaller two-unit dwellings or single-unit dwellings with almost no private outdoor space for those people who desire to limited yard maintenance and who focus their outdoor activities within

the Community Spaces within the REC PUD. Garden Home Lots are located within pods within designated Garden Home Tracts. Garden Home Lots provide for zero lot line development with at least 10 feet between buildings. Garden Home Lots generally should be located internally to the development near or adjacent to Park Tracts. Homes should be generally laid out near the exterior edges of the Garden Home Tracts with small common areas and alleys (located within Right-of-Way Tracts) focused toward the core of each Garden Home Tract. Garden Home Lots provide for limited architectural and lot layout variation and architectural themes within each Garden Home Tract should be consistent throughout. Garden Homes shall be internally loaded from alleys with garages located to the interior side of the Garden Home Tract facing the alley or court providing access to the Garden Home Lot. No Garden Home Lot is permitted direct access to a street through the exterior Garden Home Tract boundary line.

**56. GARDEN/ORCHARD (TRACTS) ZONING DISTRICT**

A zoning district intended to be areas specifically set aside for cultivating fruit trees and fruit and vegetable gardens. The production may be shared amongst the community for consumption or utilized by individual participants, while excess may be sold at local farmers markets, as determined by the residents in accordance with the CCRS. The Garden/Orchard Tracts are intended to become an identifying element for the REC community and distinguishing amenity around which festivals, celebrations, traditions, can be organized and revolve. Structures are generally limited to garden sheds or similar facilities necessary to support cultivation and agricultural fences meeting the Design Guidelines and the requirements of this PUD Guide. Drainage facilities and buried utilities and associated appurtenances are permitted in Garden/Orchard Tracts. Soft trails and identifying, educational, and direction/wayfinding signage are also permitted.

**57. GROUP HOME**

A facility providing custodial care and treatment in a protective living environment for the handicapped or the aged person. This category of facility includes, without limitation, group homes for persons who are sixty years of age or older, group homes for the developmentally disabled or mentally ill, drug or alcohol abuse or rehabilitation centers, and facilities for persons with acquired immune deficiency syndrome (AIDS) or human immunodeficiency virus (HIV) infection.

**58. HOME OCCUPATION**

Any business or service of limited scope, conducted entirely within the dwelling and which is clearly incidental and secondary to the principal use and which does not alter the exterior of the property or affect the residential character of the neighborhood.

**59. HORTICULTURAL USES**

Horticultural uses include the planting, cultivating, harvesting, and storage of hay and horticultural stock or ornamental plants for use within the REC PUD for landscaping or revegetation and erosion control activities on platted and unplatted land. Horticultural activities on platted ground shall cease as soon as the crop in place at time of platting is harvested. Horticultural uses do not include community gardens or orchards which are permitted in specific Garden/Orchard and Common Area Tracts defined within this PUD Guide and PUD Plan, or home gardens or other similar uses which are permitted as an accessory use on all residential lots.

**60. INFRASTRUCTURE AND BUILDING FABRICATION**

The temporary use of land for the purpose of fabricating REC PUD Infrastructure and building components. Building and infrastructure fabrication may be conducted inside temporary buildings constructed for the purpose of fabrication or outside. Temporary buildings may be utilized and removed or converted to a Use by Right if said conversion would conform to this PUD Guide.

**61. IRRIGATION AND MAINTENANCE (TRACTS) ZONING DISTRICT**

A zoning district are intended to serve as areas set aside for facilities necessary to treat and distribute raw water for irrigation within the REC PUD area and provide facilities for POA maintenance facilities and equipment for maintaining infrastructure, Community Spaces, and Right-of-Way Tracts within the development. All Irrigation and Maintenance Tracts are to be owned, operated and maintained by the POA or other its assigns. These areas are provided for the benefit of the owners within the REC PUD for the specific uses provided for by this PUD Guide. Drainage facilities and buried utilities and associated appurtenances are permitted within Irrigation and Maintenance Tracts. Soft trails and identifying, educational, and direction/wayfinding signage are also permitted.

**62. LANDSCAPED AREA**

Any land set apart for planting grass, shrubs, trees or similar living materials, including, without limitation, land in an arcade, plaza or pedestrian area, and of which fences and walls may be a part.

**63. LANDSCAPING**

Materials, including, without limitation, grass, ground cover, shrubs, vines, hedges or trees and nonliving natural materials commonly used in landscaped development.

**64. LOT**

A parcel that has been subdivided pursuant to a legal subdivision approval process and is precisely identified by reference to a filing, block and lot.

**65. LOT LINE**

The property lines defining the exterior boundaries of a lot or tract.

**66. MATERIALS PROCESSING**

The processing of onsite sand and gravel deposits, claimed as a result of site development conducted in accordance with the approved reclamation, grading or development plan, for use in the construction of REC PUD infrastructure and housing, buildings or facilities within the REC PUD including the screening, crushing, stockpiling, washing and creation of concrete from processed sand and gravel resources.

**67. MODEL HOME**

A dwelling temporarily used as a sales office or demonstration home for residential units under or proposed for construction, said dwelling being used as an example of a product offered for sale. The dwelling may be furnished and be used as a sales facility and office while being used as a model home. A model home may be occupied provided an occupancy permit or final inspection authorizing occupancy has been approved by the building official.

**68. NEIGHBORHOOD CENTER (TRACTS) ZONING DISTRICT**

A zoning district intended to provide meeting, gathering, recreational, and service facilities for residents of REC. Multiple Civic and Community Uses may occur on these tracts to meet the needs of REC residents as permitted by this PUD Guide and as may be approved by the POA. These services may include community service uses with incidental merchandise sales or community activities such as community garage sales. Drainage facilities and buried utilities and associated appurtenances are permitted in Neighborhood Center Tracts. Soft trails and identifying, educational, and direction/wayfinding signage are also permitted.

**69. NOXIOUS WEED**

An alien plant or part of an alien plant that has been designated by Colorado state regulations as being a state Noxious Weed

**70. OPEN SPACE TRACT ZONING DISTRICT**

A zoning district intended to provide an area of the community that is naturalized with limited use that helps to buffer environmentally sensitive areas and RFTA trail from the development areas within the REC PUD, while allowing limited passive uses including walking, running, hiking, wildlife and scenery viewing. The primary purpose of Open Space Tracts is to provide natural spaces within the Project. As, such, landscaping of Open Space Tracts is to be predominantly native and drought tolerant species. Improvements within Open Space Tracts are very limited and include only portions of the soft trail system; seating/viewing areas; identifying, educational, and direction/wayfinding

signage; drainage facilities; and buried utilities. Access roads for the utilities including the Glenwood Ditch may be provided as well as small utility buildings.

**71. OWNER**

An individual, corporation, partnership, association, trust or other legal entity or combination of legal entities which is the record owner of an undivided fee simple interest in one or more lots, parcels, or dwelling units.

**72. PARK (TRACTS) ZONING DISTRICT**

A zoning district intended to provide for active recreation activities including organized sports and play activities. Playgrounds, tot-lots, hard courts, and multi-use fields for organized recreation, games, and play are permitted in Park Tracts. Buildings are generally limited to picnic shelters, and small pavilions and amphitheatres. Drainage facilities and buried utilities and associated appurtenances are permitted in Park Tracts. Soft trails and identifying, educational, and direction/wayfinding signage are also permitted.

**73. PASSIVE RECREATION**

Recreational activities that do not require prepared facilities like sports fields, playgrounds or pavilions. Passive recreational activities place minimal stress on a site's resources and are highly compatible with natural resource protection. Passive recreation include, but is not limited to, hiking, wildlife viewing, observing and photographing nature, picnicking, walking, cross country skiing, bird watching, bicycling, running/jogging, and fishing. Passive recreation may include benches and seating areas, picnic tables, viewing areas, and interpretative and directional signage. Generally, areas under passive recreation serve as habitat areas, and therefore passive recreations uses shall be limited to those recreational uses not detrimental to habitat uses. Uses such as camping, motorized vehicle recreation, or any similar activity shall not be considered passive recreation uses.

**74. PERMITTED USE**

A use which is permitted to occur on a lot or tract, or on unplatted land as a use by right without requiring Administrative, Limited Impact or Major Impact Review under the ULUR by Garfield County.

**75. PHASE 0 SITE RECLAMATION**

Reclamation of the entire REC PUD in advance of platting. Phase 0 Site Reclamation includes grading and certain facility placement in order to restore the site with soils and vegetation, complete a majority of the required materials processing, undertake strategic geotechnical investigations, restore habitat, place utilities and structures such as Glenwood Ditch and grade separated crossing of RFTA trail, and prepare the site for future development.

**76. PORCH**

Porch means a covered, unenclosed (except for railings) structure that projects from the exterior wall of a principal building, has no floor space above, and is intended to provide shelter to the entry of the building and supplemental outdoor living area.

**77. PRINCIPAL USE**

The activity(ies) on the lot or parcel which constitute the primary purpose or function for which the land and any principal structure is intended, designed, or ordinarily used.

**78. PROJECT DOCUMENTS**

The CCRS, Design Guidelines, Development Agreement, Resolution of Approval and all other documents made a part of said Resolution of Approval, and all subsequently approved Final Plats.

**79. RIGHT-OF-WAY (TRACTS) ZONING DISTRICT**

A zoning district for tracts intended to provide legal vehicular and pedestrian ingress and egress to all lots and tracts within the REC PUD and, in concert with utility and drainage easements, provide corridors for utilities to service the REC PUD. Right-of-Way Tracts also provide areas for development of landscaped areas, street lights, directional signage, and street furnishings to help establish a sense of place in accordance with this PUD Guide and the Design Guidelines. Right-of-Way Tracts are intended to be owned, operated and maintained by the POA or its assigns. These tracts are provided for the benefit of the owners within the REC PUD for ingress and egress to all lots and tracts within the REC PUD.

**80. RIVER EDGE COLORADO PUD ("REC PUD", "REC", OR "PROJECT")**

The Planned Unit Development zone district authorized by the Garfield County, pursuant to the Resolution of Approval, and containing the property described on the PUD Plan, and including the PUD Guide, PUD Plan, and Project Documents.

**81. RIVER EDGE COLORADO PROPERTY OWNERS' ASSOCIATION, INC. ("POA")**

The association formed to manage and maintain property in which lot and tract owner within the REC PUD own an undivided common interest; manage, maintain and deliver services identified in the CCRS to properties within the REC PUD; and control the use and development of properties within the REC PUD pursuant the PUD Guide, PUD Plan, and Project Documents.

**82. REAR LOT LINE**

The boundary of a lot which is most nearly opposite and most distant from the Front Lot Line. Where an alley abuts a lot, the Rear Lot Line shall be the boundary of the lot abutting the alley (i.e., Right-of-Way Tract).

**83. REAR SETBACK LINE**

The imaginary line extending across the full width of a lot, generally parallel to the Rear Lot Line between which no building, structure, or portion thereof shall be permitted, erected, constructed, or placed unless specifically permitted pursuant to this PUD Guide.

**84. RESIDENTIAL ZONING CATEGORY**

The Residential Zoning category is the Zoning Category within which all residential zoning districts are classified. All residentially zoned lots and tracts within the Residential Zoning Category may be utilized for residential use and are subject to similar standards governing development. The intent of these lots and tracts within this category is to provide for the development of single family detached and two-unit dwellings.

**85. SAFETY SERVICES FACILITIES**

Safety services facilities are for the conduct of safety and emergency services including police and fire protection services and emergency medical and ambulance services which may include fire stations or police stations.

**86. SIDE LOT LINE**

Any boundary of a lot which is not a Front Lot Line, Rear Lot Line or Side Street Lot Line, and generally perpendicular with the Front Lot Line.

**87. SIDE YARD SETBACK LINE**

The imaginary line extending across the full depth of a lot, generally perpendicular with the Front Lot Line, and parallel to the Side Lot Line between which no building, structure, or portion thereof shall be permitted, erected, constructed, or placed unless specifically permitted pursuant to this PUD Guide.

**88. SIDE YARD**

The area between the Side Lot Line and Side Setback Line.

**89. SIDE STREET LOT LINE**

The boundary of a lot located along a street (i.e., Right-of-Way Tract), generally perpendicular with the Front Lot Line, which is not a Front Lot Line or Rear Lot Line. A lot having two street frontages has both a front lot line and side street lot line.

**90. SIDE STREET SETBACK LINE**

The Imaginary line extending across the full depth of a lot, parallel with the Side Street Lot Line and most nearly perpendicular to the Front Lot Line between which no building, structure, or portion thereof shall be permitted, erected, constructed, or placed unless specifically permitted pursuant to this PUD Guide.

**91. SIDE STREET YARD**

The area between Side Street Lot Line and Side Street Setback Line.

**92. STORMWATER FACILITIES**

Detention and conveyance facilities required for the treatment of water to enhance water quality to acceptable levels before discharge to lakes, rivers, streams or groundwater; or to provide storage volume to enable reduction of stormwater runoff flow rates.

**93. STRUCTURE**

Anything constructed or erected with a fixed location on the ground above grade, but the term does not include poles, lines, cables or other transmission or distribution facilities of public utilities

**94. SUBDIVISION IMPROVEMENTS AGREEMENT**

An agreement approved by the BoCC in association with Phase 0 and each final plat detailing and securing the obligations of all parties.

**95. TEMPORARY SALES OFFICE**

An office established temporarily on a property to make the initial sale of real estate products located on the property. Said office may be located in a model home or within a permanent building built for future Civic and Community Uses or a temporary building placed specifically for the purposes of providing a sales office.

**96. TOWN (LOT) ZONING DISTRICT**

A zoning district intended to provide reasonably sized lots for larger tract or semi-custom homes with greater private outdoor space than in the Village Lot Residential Zoning District. Town Lots generally should be located along the western and southern edges of the development area and back Open Space Tracts, but may also be located internally to the PUD and back Park, Garden/Orchard, or Common Area Tracts. These lots provide for limited architectural and lot layout variation. Town Lots are street or alley loaded.

**97. TRACT**

Any physical portion of the REC PUD which is designated on the PUD Plan as a Tract as opposed to a lot, and the boundaries of which are depicted on the applicable Final Plat.

**98. ULUR**

The Garfield County Unified Land Use Resolution of 2008, as it may be amended.

**99. UTILITY DISTRIBUTION AND COLLECTION SYSTEMS**

Any below ground facilities used for the transmission, distribution, delivery, collection, or storage of water, sewage, electricity, natural gas, communications, electronic or electromagnetic signals, or other services which support the development of the REC PUD and any uses within the REC PUD including associated above ground accessory structures and facilities to support such below ground facilities.

**100. UTILITY FACILITIES**

Any above ground structures or facilities used for the production, generation, treatment, transmission, distribution, delivery, collection, or storage of water, or sewage which support the development of the REC PUD and any uses within the REC PUD including without limitation water and sewage treatment works/facilities.

**101. UTILITY ZONING CATEGORY**

This zoning category includes those zoning districts established to provide for any required major utility and maintenance facilities such as a water treatment plant or POA maintenance facility that might be necessary to serve the REC PUD. The category includes Irrigation and maintenance Zoning District and Water and Wastewater Zoning District.

**102. UTILITY AND SAFETY SIGNS**

Signs required alerting people to dangers or providing service or safety information associated with utility placements or facilities or safety issues associated with a location or site.

**103. VILLAGE (LOT) ZONING DISTRICT**

A zoning district intended to provide small lots for medium sized tract or semi-custom homes with limited private outdoor space. Village Lots generally should be located along the eastern edges of the development area and internally to the development. They generally back small Open Space Tracts, or Park, Garden/Orchard, and Common Area Tracts. These lots allow for very limited architectural and lot layout variation. Village Lots may be street or alley loaded.

**104. WATER AND WASTEWATER (TRACTS) ZONING DISTRICT**

A zoning district within the Utility Zone Category intended to provide areas for facilities necessary to treat and distribute potable water including the construction of water treatment plants and transmission facilities, or collection and treatment facilities for wastewater including lift stations and wastewater treatment facilities. Unlike the water and wastewater facilities located within Right-of-Way and Community Spaces or utility easements, Water and Wastewater Tracts are identified for more significant water and wastewater facilities than traditionally accommodated in public spaces and easements including facilities necessary to serve the REC PUD and other development areas within the region. These tracts are intended to be owned, operated and maintained by the POA or its assigns. These areas are provided for the benefit of the owners within the REC PUD for the specific uses provided for by this PUD Guide. Drainage facilities and buried utilities and associated appurtenances are permitted in Water and Wastewater Tracts. Soft trails and identifying, educational, and direction/wayfinding signage are also permitted provided they do not conflict with the primary use at the discretion of the owner.

**105. WATER IMPOUNDMENTS**

Detention, equalization, and pressurization facilities required to treat and store water prior to distribution to raw water or potable water customers

**106. ZONING CATEGORY**

A classification used to group Zoning District designations into a broader class of uses under which the specific Zoning District designation falls.

**107. ZONING DISTRICT**

A specifically delineated area within which regulations exist to govern use, placement, spacing, and size of lots, parcels and buildings.

## APPENDIX A: ZONING, USE, DIMENSIONAL STANDARDS TABLES

Table 1 and 2 provide the Zoning Category and Zoning District designations for all proposed lots and tracts approved as part of the PUD Plan. The use designations identified hereon represent the intended use designation of each lot and tract for purposes of applying the provisions of this PUD Guide. Table 2 is sorted by Filing, Block, Lot/Tract.

Table 3 identifies the principal and accessory uses permitted in each Zoning District within the REC PUD.

Table 4 identifies the dimensional standards applicable to each Zoning District.

**Table 1. Zoning Districts Table by Zoning Category and District**

Zoning Category	District	Sub-District	Lot Size	
<b>Residential Use</b>	Attached Home (38 Lots/Units)	1	B3	1-10
		2	B7	13-18
		2	B8	6-10
	Estate (8 Lots/Units)	6	B19	1-8
	Executive (1 Lot/Unit)	8	B22	1
	Town (167 Lots/Units)	1	B4	1-9
		1	B5	1-6
		1	B6	1-25
		2	B8	1-5
		3	B9	1, 3-18
		3	B10	1-18
		4	B11	1-18
		4	B13	1-11
		4	B14	1-5
		4	B15	1-12
		5	B1	1-18
		5	B2	1-9
		6	B20	1-13
		6	B21	1-4
		Village (56 Lots/Units)	2	B7
	3		B9	2
	4		B12	1-8
	6		B16	1-11
	6		B17	1-13
	Garden Home (85 Lots/Units)	6	B18	1-11
		1A	B25	1-11
		1B	B26	1-7
		2A	B24	1-15
		4A	B23	1-10
		5A	B27	1-8

**Table 1. Zoning District Table by Zoning Category and District (Continued)**

Zoning Category		Tracts	District	Tracts
<b>Community Uses</b>				
Zoning Districts	Open Space (11 Tracts)	1		AH, AP, AU
		2		BH1, BH2
		3		BB
		4		BN, BO
		5		AN
		6		AD, CE
	Common Area (20 Tracts)	1		AC, AE, AV, AY
		2		BD, BE, BF, BG
		3		BT, BU, BV
		4		BK, BL, BQ, BR, BS
		5		AL, AZ
		6		AT, CD
	Garden/Orchard (3 Tracts)	1		AB
		2		BA
		5		AM
	Neighborhood Center (1 Tract)	1		AA
	Park	1		AI
		2		BI
		3		BJ
6			AX	
<b>Right-of-Way Uses</b>				
Zoning Districts	Right-of-Way (14 Tracts)	1		RC, RF
		2		RB
		3		RD
		4		RA, RH
		5		RO
		6		RE
		1A		AD1
		1B		AJ1
		2A		BC1
		4A		BM1, BM2
		5A		AK1
<b>Utility Uses</b>				
Zoning Districts	Irrigation and Maintenance (1 Tract)	1		AG
	Right-of-Way (14 Tracts)	1		RC, RF
		6		AR

**Table 2. Zoning District Table by Filing, Block and Lot<sup>1,2</sup>**

Filing #	Block #	Lot/Lots	Zoning District
1	B3	1-10	ATTACHED HOME
	B4	1-9	TOWN
	B5	1-5	
	B6	1-25	
	Tracts	AA	
		AB	GARDEN/ORCHARD
		AC, AE	COMMON AREA
		AG	IRRIGATION AND MAINTENANCE
		AH	OPEN SPACE
		AI	PARK
		AO	WATER AND WASTEWATER UTILITY
		AP, AU	OPEN SPACE
		AV, AY	COMMON AREA
		RC, RF	RIGHT-OF-WAY
<b>Filing 1 Totals</b>		<b>Residential Lots/Units</b>	<b>59</b>
		<b>Tracts</b>	<b>14</b>
1A	B25	1-11	GARDEN HOME
	Tracts	AD1	RIGHT-OF-WAY
<b>Filing 1A Totals</b>		<b>Residential Lots/Units</b>	<b>21</b>
		<b>Tracts</b>	<b>1</b>
1B	B28	1-7	GARDEN HOME
	Tracts	AJ1	RIGHT-OF-WAY
<b>Filing 1B Totals</b>		<b>Residential Lots/Units</b>	<b>13</b>
		<b>Tracts</b>	<b>1</b>
2	B7	1-12	VILLAGE
	B7	13-18	ATTACHED HOME
	B8	1-5	TOWN
	B8	6-10	ATTACHED HOME
	Tracts	BA	GARDEN/ORCHARD
		BD, BE, BF, BG	COMMON AREA
		BH2	OPEN SPACE
		FB	RIGHT-OF-WAY
<b>Filing 2 Totals</b>		<b>Residential Lots/Units</b>	<b>36</b>
		<b>Tracts</b>	<b>7</b>
2A	B24	1-15	GARDEN HOME
	Tracts	BC1	RIGHT-OF-WAY
<b>Filing 2A Totals</b>		<b>Residential Lots/Units</b>	<b>20</b>
		<b>Tracts</b>	<b>1</b>

**Table 2. Zoning District Table by Filing, Block and Lot (Continued)**

Filing #	Block #	Lot Tracts	Zoning District	
3	B9	1	TOWN	
	B9	2	VILLAGE	
	B9	3-18	TOWN	
	B10	1-18		
	Tracts	BB, BH1		OPEN SPACE
		BI		PARK
		BT, BU, BV		COMMON AREA
		RD		RIGHT-OF-WAY
<b>Filing 3 Totals</b>		<i>Residential Lots/Units</i>	<b>36</b>	
		<i>Tracts</i>	<b>7</b>	
4	B11	1-16	TOWN	
	B12	1-8	VILLAGE	
	B13	1-11	TOWN	
	B14	1-6		
	B15	1-12		
	Tracts	BJ		PARK
		BK, BL		COMMON AREA
		BN, BO		OPEN SPACE
		BQ, BR, BS		COMMON AREA
		RA, RH		RIGHT-OF-WAY
<b>Filing 4 Totals</b>		<i>Residential Lots/Units</i>	<b>53</b>	
		<i>Tracts</i>	<b>10</b>	
4A	B23	1-10	GARDEN HOME	
	Tracts	BM1, BM2	RIGHT-OF-WAY	
<b>Filing 4A Totals</b>		<i>Residential Lots/Units</i>	<b>19</b>	
		<i>Tracts</i>	<b>2</b>	
5	B1	1-18	TOWN	
	B2	1-9		
	Tracts	AL		COMMON AREA
		AM		GARDEN/ORCHARD
		AN		OPEN SPACE
		AZ		COMMON AREA
		RG		RIGHT-OF-WAY
<b>Filing 5 Totals</b>		<i>Residential Lots/Units</i>	<b>27</b>	
		<i>Tracts</i>	<b>6</b>	

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**Table 2. Zoning District Table by Filing, Block and Lot (Continued)**

Filing #	Block #	Lot/Block #	Zoning District	
5A	B27	1-8	GARDEN HOME	
5A	Tracts	AK1	RIGHT-OF-WAY	
<b>Filing 5A Totals</b>		<b>Residential Lots/Units</b>	<b>14</b>	
		<b>Tracts</b>	<b>1</b>	
6	B16	1-11	VILLAGE	
	B17	1-13		
	B18	1-11		
	B19	1-8	ESTATE	
	B20	1-13	TOWN	
	B21	1-4		
	B22	1	EXECUTIVE	
	Tracts		AO	OPEN SPACE
			AR	WATER AND WASTEWATER UTILITY
			AT	COMMON AREA
			AX	PARK
			CO	COMMON AREA
			CE	OPEN SPACE
	RE	RIGHT-OF-WAY		
<b>Filing 6 Totals</b>		<b>Residential Lots/Units</b>	<b>61</b>	
		<b>Tracts</b>	<b>7</b>	

Table 3. Use Table

Land Use	ZONING DESIGNATIONS										
	Residential Single-Family	Residential Medium-Density	Residential High-Density	Community Center	Office	Professional Office	Public Office	Community Office	Community Office	Community Office	Community Office
Accessory Buildings, Structures, or Uses	P	P	P	P	P	P	P	P	P	P	P
Administration Facilities	N	N	N	N	N	N	N	N	N	N	N
Bus Stops, Benches, and Shelters	N	N	N	N	N	N	N	N	N	N	N
Community Garden/Orchard	N	N	N	N	N	N	N	N	N	N	N
Community Identification Signage	N	N	N	N	N	N	N	N	N	N	N
Community Meeting Facility or Recreation Hall	N	N	N	N	N	N	N	N	N	N	N
Community Service Facilities	N	N	N	N	N	N	N	N	N	N	N
Day Care Center	N	N	N	N	N	N	N	N	N	N	N
Day Care Home	L	L	L	L	L	L	L	L	L	L	L
Group Home	L	L	L	L	L	L	L	L	L	L	L
Home Occupation	A	A	A	A	A	A	A	A	A	A	A
Horticultural Uses	N	N	N	N	N	N	N	N	N	N	N
One Unit Dwelling	P	P	P	P	P	P	P	P	P	P	P
Recreation and Services, Active	N	N	N	N	N	N	N	N	N	N	N
Recreation, Passive	N	N	N	N	N	N	N	N	N	N	N
Safety Services Facilities	N	N	N	N	N	N	N	N	N	N	N
Shower Facilities	P	P	P	P	P	P	P	P	P	P	P
Two Unit Dwelling	N	N	N	N	N	N	N	N	N	N	N
Utility Distribution and Collection Systems	P	P	P	P	P	P	P	P	P	P	P
Utility Facilities	N	N	N	N	N	N	N	N	N	N	N
Water Impoundments	N	N	N	N	N	N	N	N	N	N	N

Land Use Symbols: P - Permitted as a Principal Use; N - Not Permitted; A - Administrative Review (ULUR); L-Limited Impact Review (ULUR)

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Table 4. Dimensional Standards

Minimum Lot Area sq. ft.	Minimum Lot Width ft.	Maximum Building Coverage %	Maximum Floor Area sq. ft.	Front Setback ft.	Rear Setback ft.	Side Setback ft.	Use of Front Yard	Maximum Height ft.
<b>Residential Use</b>								
Attached Home	4600	50	80 (9000) <sup>2</sup>	25	7	0	10	35
Estate	8000	50	50	8000	25	10	5	35
Executive	43560	100	30	12000	15	15	15	35
Garden Home	2100	20	80 (9000) <sup>2</sup>	10	16	5	5	25
Town	8800	50	50	3600	15	10 (7) <sup>1</sup>	5	35
Village	5000	50	60	3200	10	10 (7) <sup>1</sup>	5	25
<b>Community Uses</b>								
Common Area	NA	NA	10	NA	10	10	10	15
Garden Orchard	NA	NA	10	NA	10	10	10	15
Neighborhood Center	NA	NA	Building Envelope	10000	10 <sup>2B</sup>	10 <sup>2B</sup>	10 <sup>2B</sup>	35
Open Space	NA	NA	NA	NA	10	10	10	10
Park	NA	NA	NA	NA	10	10	10	25
<b>Right-of-Way Uses</b>								
Right-of-Way	NA	NA	NA	NA	NA	NA	NA	NA
<b>Utility Uses</b>								
Irrigation and Maintenance	NA	NA	Building Envelope	See PUD Plan <sup>3</sup>	5	5	5	25
Water and Wastewater Utility	NA	NA	Building Envelope	See PUD Plan <sup>3</sup>	6	5	5	25
<b>Notes:</b>								
1 Rear setback shall be reduced to 7 feet when lot is alley loaded.								
2 (XXXX) indicates total square footage of both dwelling units when dwellings are attached.								
3 Limited to 20000 square feet total on all Irrigation and Maintenance and Water and Wastewater Utility Tracts combined.								

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PUD Development Guide  
River Edge Colorado, Garfield County, Colorado

## APPENDIX B: ROAD STANDARDS

All roads, alleys and courts within the REC PUD shall be constructed in accordance with the standards and specifications contained in this appendix.

FILE NAME: P:\COMMENTS\PROJECTS\81000\81000.DWG DESIGN TABLES.DWG - POS. OF PAVEMENT MARKINGS & DISCREPANCIES/USC REPORT RECORDS/PVD-STREET.PVD.DWG  
 PLOT DATE/TIME: 8/14/2011 12:18 PM  
 PLOTTED BY: OHS SWINER  
 PLOT STYLE: 81000.ctb

Owner/Developer:  
  
 River Edge  
 COLORADO  
 Colorado Investments, LLC  
 780 HWY 63  
 Colorado, CO 81023  
 Phone No:  
 970.495.5223

Title:  
**ROAD DESIGN TABLE**

Prepared by:  
**8140 Partners, LLC**

Date:  
 1/14/2011

Exhibit:  
 1  
 App. B-2

**ROAD DESIGN TABLE**

CRITERIA	ENTRY ROAD	LOCAL	ALLEY / COURT ACCESS	GARDEN HOME ACCESS	EMERGENCY VEHICLE ACCESS (EVA)
DESIGN CAPACITY (ADT)	5,000	5,000	<500	<500	N/A
DESIGN SPEED (MPH)	25	25	N/A	N/A	N/A
POSTED SPEED (MPH)	25	25	N/A	N/A	N/A
PAVEMENT WIDTH (FT) (LANES)	24 (2) <sup>1</sup>	36 (2) <sup>1</sup>	24 (2) <sup>1</sup>	20 (2) <sup>1</sup>	20
MIN. HORIZONTAL RADIUS (FT)	185	80	50	50	N/A
DESIGN VEHICLE	WB-50	WB-40	BUS-40	BUS-40	BUS-40
CURB RETURN RAD (FT)	30 <sup>2</sup>	20 <sup>2</sup>	N/A	N/A	N/A
MAX. GRADE (%)	6	6	6	6	6
CROSS SLOPE (%)	2	2	2	N/A	N/A
SURFACE	ASPHALT	ASPHALT	ASPHALT	ASPHALT	ASPHALT

<sup>1</sup> TWO 12' TRAVEL LANES PLUS RAISED MEDIAN (VARYING WIDTH) AND NO 24-STREET PARKING.  
<sup>2</sup> TWO 10' TRAVEL LANES AND ON-STREET PARKING (VARYING WIDTH) AND NO 24-STREET PARKING.  
<sup>3</sup> TWO 10' TRAVEL LANES AND 2' SHOULDERS.  
<sup>4</sup> TWO 10' TRAVEL LANES.

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 12/22/2011 11:26:48 AM Jean Alberico  
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FILE NAME: P:\CORONADO INVESTMENTS\02 DESIGN\SUBSTANDARD - TASK 03 PRELIM PLAN\DWG\EXISTING SH82\EXISTING SH82-TYPICAL SECTION.DWG  
 PLOT DATE/TIME: 1/17/2011 11:11 AM  
 PLOTTED BY: DAE HOPA  
 PLOT STYLE: S:\acad\lisp\acad.ctb

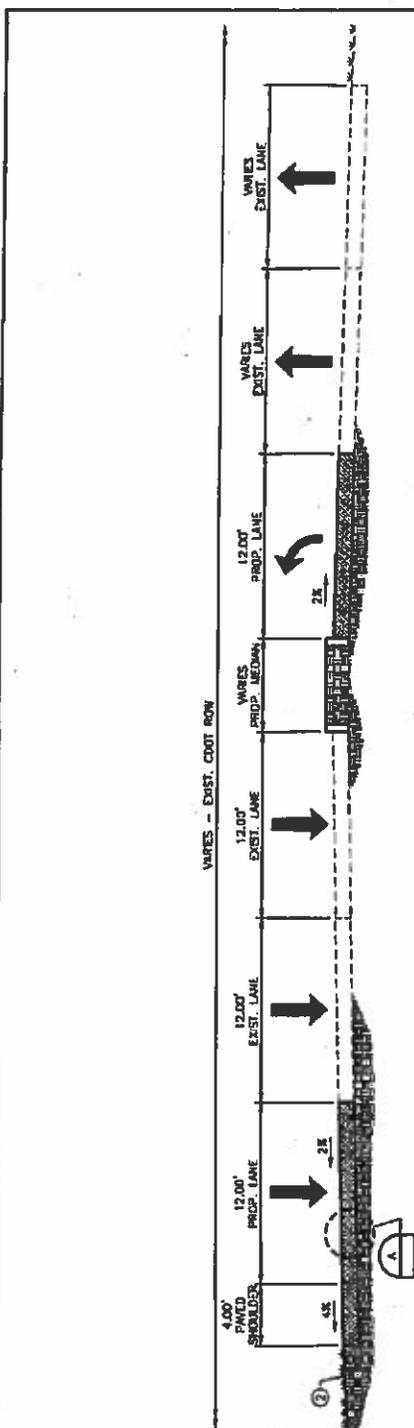
Owner/Developer:  
  
 Colorado Investments, LLC  
 1780 HWY 12  
 Carbondale, CO 81623

Title:  
**EXISTING SH82 WIDENING  
 TYPICAL SECTION**

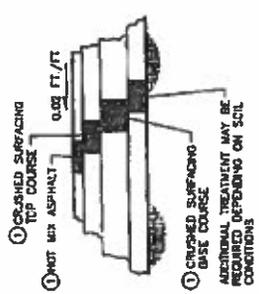
Prepared by:  
**8140 Partners, LLC**

Date:  
 1/14/2011

Exhibit:  
 2 App. B-3



**EXISTING SH82 WIDENING  
 TYPICAL SECTION**

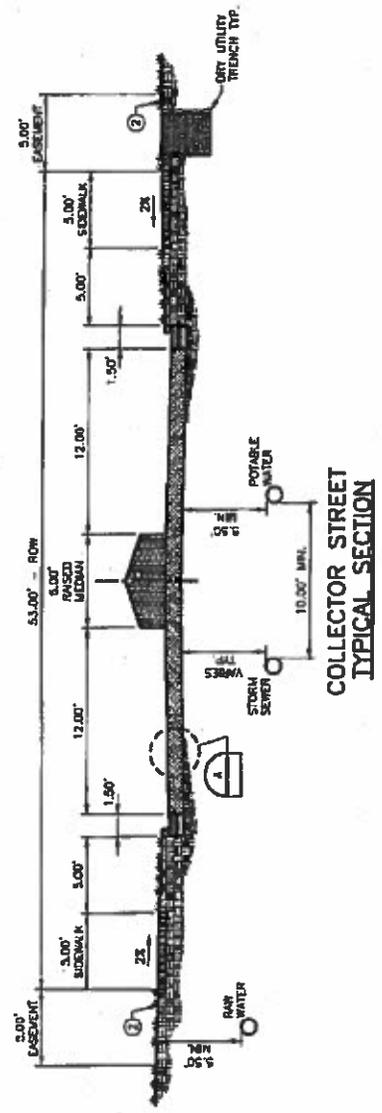


- NOTES:**
- ① THIS STREET ILLUSTRATES A TYPICAL ASPHALT CONCRETE ROAD SECTION.
  - ② SEE TABLE D-2 FOR SIDE SLOPE REQUIREMENTS.

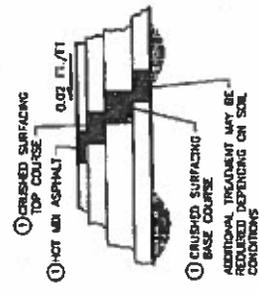
3. GRADES:  
 MINIMUM 0.5K  
 MAXIMUM 2.0K

**DETAIL A**  
 SCALE: N.T.S.

FILE NAME: P:\WORKBOOK\INVESTMENTS\GARDEN DESIGN\TASKS\0302 - TURN 02 PRELIM PLAN\WORKBOOKS\REPORT\RDSEV\RD-STRUTYP\RDSEV.DWG  
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 PLOTTED BY: DWG:KCPA  
 PLOT STYLE: BLINDO.DWT/ARCTIC.CTb



COLLECTOR STREET  
TYPICAL SECTION



- NOTES:**
- ① THIS STREET ILLUSTRATES A TYPICAL ASPHALT CONCRETE ROAD SECTION.
  - ② SEE TABLE D-2 FOR SIDE SLOPE REQUIREMENTS.
3. GRADES:  
 MINIMUM 0.3%  
 MAXIMUM 8.0%

DETAIL A  
SCALE: N.T.S.

**Owner/Developer:**  
  
 River Edge  
 COLORADO  
 Carbonville Investments, LLC  
 7920 HWY 62  
 Carbonville, CO 81623  
 Phone No: 978.486.5325

**TITLE:**  
**COLLECTOR STREET  
 TYPICAL SECTION**  
**Prepared by:**  
**8140 Partners, LLC**

**Date:**  
 1/14/2011  
**Exhibit:**  
 3 App. B-4

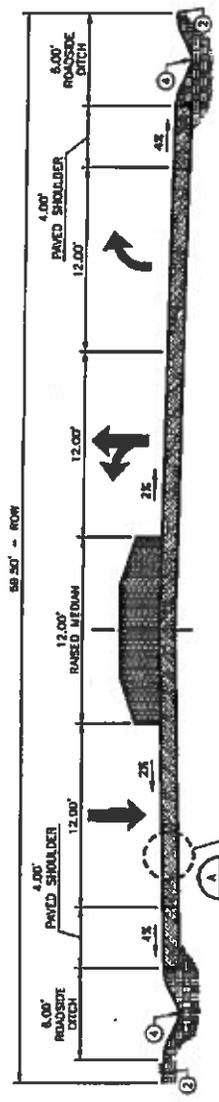
Reception#: 812357  
 12/22/2011 11:26:48 AM Jean Alberico  
 76 of 127 Rec Fee:\$0.00 Doc Fee:8.00 GARFIELD COUNTY CO

FILE NAME: P:\PROJECTS\11652\11652.DWG - USER: PRAJESHKUMAR - DATE: 11/17/2011 11:17 AM  
 PLOTTED BY: BAE - DATE: 11/17/2011 11:17 AM  
 PLOT STYLE: 11652.ctb

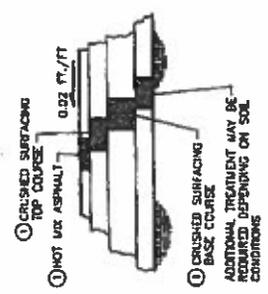
Owner/Developer:  
  
 River Edge  
 COLORADO  
 Carbondale Investments, LLC  
 7888 HWY 12  
 Carbondale, CO 81623  
 Phone No: 870.488.8138

Title:  
**ENTRANCE/SH82 INTERSECTION  
 TYPICAL SECTION**  
 Prepared by:  
**8140 Partners, LLC**

Date:  
 1/14/2011  
 Exhibit:  
 4 App. B-5



ENTRANCE/SH82 INTERSECTION  
TYPICAL SECTION



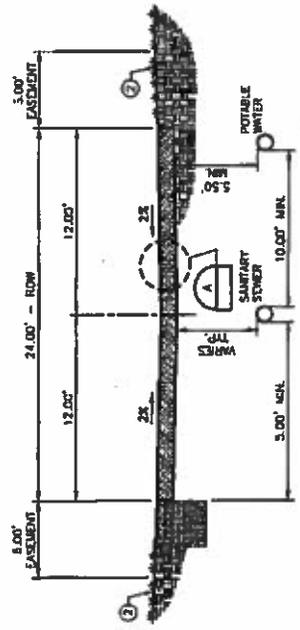
DETAIL A  
SCALE: N.T.S.

- NOTES:**
- ① THIS STREET ILLUSTRATES A TYPICAL ASPHALT COMPLETE ROAD SECTION
  - ② SEE TABLE D-2 FOR SIDE SLOPE REQUIREMENTS.
  - ③ GRADES:  
MINIMUM 0.5%  
MAXIMUM 8.0%
  - ④ DITCH SECTIONS AND/OR LOCATIONS MAY VARY TO MEET REQUIREMENTS.

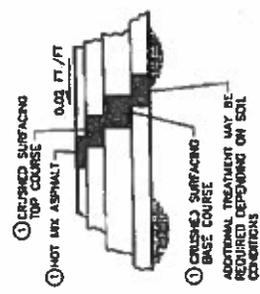


Reception#: 812357  
 12/22/2011 11:26:48 AM Jean Alberico  
 78 of 127 Rec Fee:\$0.00 Doc Fee:0.00 GARFIELD COUNTY CO

FILE NAME: PLANS/PROJ/1000000000/DESIGN/8000000000 - WORK ON ROADWAY PLANNING & DESIGN/8000000000 - STREET IMPROVING  
 PLOT DATE/TIME: 1/17/2011 11:17 AM  
 PLOTTED BY: BAE  
 PLOT STYLE: BUREAU



**ALLEY STREET  
 TYPICAL SECTION**



- NOTES:**
- ① THE STREET ILLUSTRATES A TYPICAL ASPHALT CONCRETE ROAD SECTION.
  - ② SEE TABLE D-2 FOR SIDE SLOPE REQUIREMENTS.
3. GRADES:  
 MINIMUM 0.02  
 MAXIMUM 0.02

**DETAIL A**  
 SCALE N.T.S.

Owner/Developer:

Carbondale Investments, LLC  
 7780 HWY 62  
 Carbondale, CO 81623  
 Phone No: 970.486.5322

Title:  
**ALLEY STREET  
 TYPICAL SECTION**

Prepared by:  
**8140 Partners, LLC**

Date:  
 1/14/2011

Exhibit:  
 6  
 App. B-7